

Confidential Inspection Report
2000 Square Feet
Brandon, MS

Prepared for: Typical New Home



Prepared by: Alpha Inspection
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Brandon, MS 39047
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September 28, 2009

Typical New Home

RE: 2000 Square Feet
Brandon, MS 39047

At your request, and in your presence, a visual inspection of the above referenced property was conducted today. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement.

REPORT SUMMARY

Overall, the home's quality of construction is typical for our area. The following items, taken from the complete report, are the things I believe you should be aware of before you complete your transaction. Other items that I believe have a much lesser impact on your life or I simply believe you should know are included in the full report. Typically these items are underlined to help insure you do not skip over them as you read the report. In no way is this summary a required repair list. You will have to determine, with the assistance of your agent, which to address prior to purchasing the house.

ROOF SYSTEM

ROOF:

1. Nails are commonly seen in the ridge shingles and flashings of a roof. They should be sealed.

There is an inadequate amount of shingles overhang on portions of the shed dormer roof. This

condition can allow water to enter the overhangs of the roof and cause the wood to rot.

One shingle at the lower edge of the shed dormer is damaged.

ATTIC AND INSULATION:

2. The door to the attic should be weather stripped for energy efficiency.

EXTERIOR & FOUNDATION

TRIM:

3. The final application of caulk and paint has not yet been completed.

HEATING - AIR CONDITIONING

MAIN HEATING AND AIR CONDITIONING SYSTEM:

4. The compressor unit is not sitting level. It should be on a level platform.

5. The ratio between the horizontal and vertical portions of this vent is not correct. This can create drafting and condensation problems. I recommend a HVAC contractor who is knowledgeable of the GAMA venting requirements make corrections.

This vent is not properly supported. It should be supported every five feet.

The flexible gas connector should not enter the furnace. This violates the listing of the connector. It should be connected to a rigid metal pipe that exits the furnace cabinet.

SECOND HEATING AND AIR CONDITIONING SYSTEM:

6. The compressor unit is not sitting level. It should be on a level platform.

The insulation is torn or missing from the refrigeration lines. This condition allows condensation to form on the refrigeration line and drip on to the surrounding areas.

7. The flexible gas connector should not enter the furnace. This violates the listing of the connector. It should be connected to a rigid metal pipe that exits the furnace cabinet.

The ratio between the horizontal and vertical portions of this vent is not correct. This can create drafting and condensation problems. I recommend a HVAC contractor who is knowledgeable of the GAMA venting requirements make corrections.

ELECTRICAL SYSTEM

ELECTRICAL PANELS:

8. MAIN PANEL CONDITION:

I recommend all defects be corrected by an electrician.

The ground rods should be driven further into the ground to reduce the risk of impalement and

comply with the National Electrical Code requirements.

SWITCHES & OUTLETS:

9. The lights are not operational in some areas, possibly due to bad bulbs. I recommend all non-operating bulbs be replaced before the final walk through on the off chance a fixture is not functioning.

Some grounded type outlets tested to not be properly grounded. Have an electrician correct this condition and test all outlets in the home.

PLUMBING

SUPPLY LINES:

10. No key is provided for the manifold in the pantry.

RIGHT SIDE WATER HEATER:

11. The black foam pipe insulation should not be within 6" of the water heater draft hood. It is a combustible material.

The lower end of this vent pipe has been cut. This is improper as it voids the UL listing and changes the clearance to combustible material requirements of the vent pipe. The vent pipe should be replaced.

LEFT SIDE WATER HEATER:

12. The black foam pipe insulation should not be within 6" of the water heater draft hood. It is a combustible material.

The lower end of this vent pipe has been cut. This is improper as it voids the UL listing and changes the clearance to combustible material requirements of the vent pipe. The vent pipe should be replaced.

Roofing shingles are within one inch of the vent pipe. They are considered combustible and should be removed.

KITCHEN - APPLIANCES - LAUNDRY

RANGE/COOK TOP & OVEN

13. This appliance is not completely put together.

DISHWASHER:

14. The dishwasher is not anchored to the cabinet.

The bottom panel of the dishwasher is not yet installed.

INTERIOR COMPONENTS:

15. Some tightening and adjusting of the doors in the cabinets is needed.

Conventional drawer glides have been used for one pull out. They are not designed to carry the amount of weight they will be subjected to. I recommend a set of heavy duty full extension glides be installed.

BATHROOMS

HALL BATHROOM:

16. The sink is draining slowly. The cause should be investigated and corrected.

MASTER BATHROOM:

17. The toilet is very loose. I recommend it be removed, the mounting flange inspected for damage, a new wax ring installed and the toilet reset. Caulking the toilet to the floor is not a proper repair.

18. The hinges have not yet been installed on the access panel door.

UPSTAIRS BATHROOM:

19. Doors are not yet installed on this cabinet.

20. The toilet is very loose. I recommend it be removed, the mounting flange inspected for damage, a new wax ring installed and the toilet reset. Caulking the toilet to the floor is not a proper repair.

INTERIOR

DOORS:

22. The front door is in need of additional coats of protective finish. Stained doors of this type need periodic maintenance. To properly protect the wood and finish they should be sanded and additional coats of finish applied every few years. It should be verified that the top and bottom edges are also sealed. These type doors often warp when these edges are left unsealed.

The strike plate for the deadbolt of this door is not installed.

This door is also not well adjusted. It does not seal at the top.

23. The interior doors should be undercut to allow the conditioned air to freely return to the return air grill.

An upstairs closet and the laundry room doors will not latch properly.

The door to the master bathroom does not operate properly.

WINDOWS:

24. Seal the window casings and other dissimilar materials to the brick.

The window at the top of the stairs should have safety glass installed.

INTERIOR WALLS AND TRIM:

25. I recommend all penetrations in the wall system be sealed.

CABINETRY:

26. Some of the shelves are not yet installed.

STAIRS & HANDRAILS:

27. Handrails on stairs should be continuous and return to the wall at the ends. These do not meet these criteria.

FIREPLACE:

28. The appliance connector is improperly installed. It should not be installed in a manner where it can contact sheet metal. It should be connected to rigid metal pipe inside of the fireplace. Two appliance connectors have been used. This is also improper.

GARAGE

GARAGE DOOR:

29. The automatic garage door opener did not reverse properly when it struck a 1.5" block on the floor. Typically adjusting the down force of on the opener is all that is necessary to correct this. For more information on this safety feature see <http://www.cpsc.gov/cpsc/pub/pubs/523.pdf>. The Genie Company provides a good example of proper installation on it's website. <http://www.geniecompany.com/docs/GENIE%20CHAINGLIDE-ENG.pdf> This is a safety item and is important to have the setting adjusted.

The electronic eyes should be installed between 5 and 6 inches above the floor to provide the proper safeguard. These are considerably higher.

Control buttons for openers should be mounted at least 5' above the floor to prevent small children from operating them.

GROUNDS

DRIVEWAY:

30. I recommend the cracks be sealed with NP1 to prevent water entry and further raising and settling or widening of cracks. NP 1 is a polyurethane sealant that is available at Construction Materials on West St.

LAWN SPRINKLER SYSTEM

ELECTRIC CONTROLS:

31. The back up battery is not installed in the controller.

SPRINKLER HEADS:

32. Some sprinkler heads need adjustment. Neither sprays or rotors should hit the house or windows.

Both rotors and sprays should be elevated to the correct height and be vertical.

As you address these items, I believe it is best to use licensed trades people for counsel and to perform the repairs. Please be sure to obtain competitive estimates. While I have placed the items I believe, in my professional opinion, are most likely to have significant financial or safety concerns in the summary, read the entire report to determine if you want to address any of the other items noted there.

It has been a pleasure working with you. Our company's goal is to help relieve the anxiety of home ownership, both as you purchase your home and after you move in. Please remember, we desire to be your personal building consultants and are available to answer questions regarding the inspection report, the home, and repairs to the home. Please feel free to call us with any questions regarding your new home.

Sincerely,

Charlie Sessums

Charlie Sessums
Alpha Inspection
Mississippi License #0187 NH
ASHI #211622

P.S. We are constantly seeking to grow and improve our service to you. You can help us by using the form found in your inspection folder to give us your feedback and input.

P.P.S. The majority of our business comes through referrals from satisfied customers. If we have served you well, please don't keep us a secret.

INSPECTION CONDITIONS

CLIENT & SITE INFORMATION:

DATE OF INSPECTION: September 28, 2009.
CLIENT NAME: Typical New Home.
INSPECTION SITE: 2000 Square Feet.
INSPECTION SITE CITY/STATE/ZIP: Brandon, MS 39047.

CLIMATIC CONDITIONS:

WEATHER: The weather was partly cloudy.
SOIL CONDITIONS: The ground was dry.

UTILITY SERVICES:

UTILITIES STATUS: All utilities, except the gas service, were on at the time of inspection. This limits what I can inspect. The gas line will need to be pressure tested before the service can be turned on. I recommend you confirm who will pay the fees for this. The pressure test will confirm no leaks are present in the system. The gas appliances will then need to be tested to verify they operate properly.

REPORT LIMITATIONS

This report is intended only as a general guide to help you make your own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses my personal opinions, based upon the visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with trades people or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the Expedited Arbitration of Home Inspection Disputes of Construction Arbitration Services, Inc., unless the parties mutually agree otherwise. In the event of a claim, you agree to allow the Alpha Inspection to inspect the claim prior to any repairs or waive the right to make the claim. You also agree not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

ROOF SYSTEM

The foregoing is an opinion of the general quality and condition of the roofing material. I cannot and do not offer a warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Not all attic areas are readily accessible for inspection. My conclusions are based on what I could readily see.

All roofs require periodic maintenance to achieve typical lifespan and should be inspected annually. Expect to make minor repairs to any roof.

The standard home inspection includes a Level 1 chimney inspection. A Level I Inspection is generally limited to readily accessible areas of the chimney structure, with additional requirements to insure the flue is clear. Readily accessible areas are those areas that can be reached for inspection or maintenance without the use of tools or ladders. A Level I Inspection will include checking the basic appliance installation and connection, checking readily accessible portions of the chimney structure and flue, and determining that the flue is not obstructed.

The NFPA (National Fire Protection Association) recommends a Level II inspection each time a property is sold. A Level II Inspection is generally limited to accessible areas of the chimney structure and appliance installation. Accessible areas are those that can be reached without destructive action to the building or building finish. Access may require the movement or opening of doors and panels, and may require the use of common hand tools or ladders. A Level II Inspection will include all portions of a Level I Inspection as well as accessible areas of the chimney structure, including areas within accessible attics, basements and crawl spaces. In addition, a Level II Inspection will include an examination of the chimney interior by video scanning or other comparable means of inspection. The inspector should also determine that the flue is properly sized for the connected appliance(s).

As part of the roofing inspection, the physical condition of the shingles, flashings and gutters are inspected.

Any chimneys are examined and any negative conditions are documented in this section below.

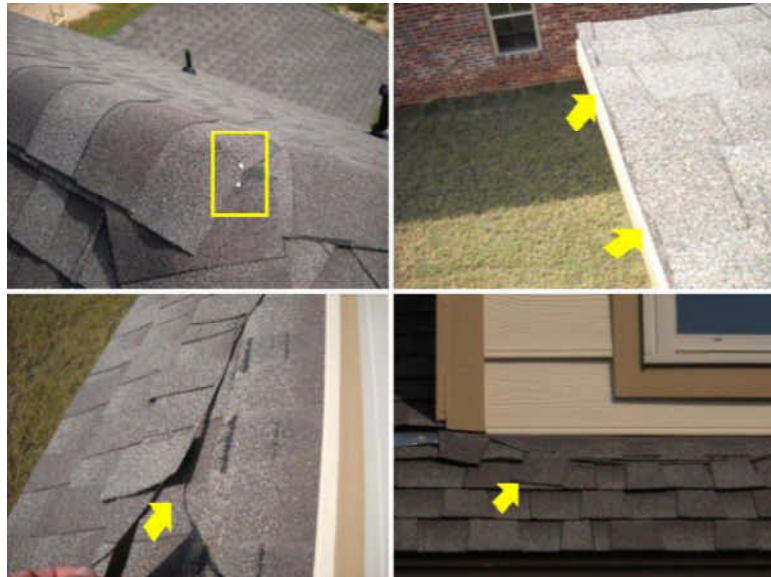
While inspection the attic, the framing, insulation and the ventilation system is evaluated. In our region no vapor barrier is installed between the living space and the attic.

ROOF:

TYPE: This is an architectural grade composition shingle roof system which will typically carry a 30 or 50 year manufacturer warranty.

ROOF ACCESS: I was able to walk on of the roof but did not walk on every square inch. I walked in the areas where I felt safe and could see most of the roof surface.

**ROOF COVERING
STATUS:**



The shingles are in acceptable condition and well within their useful life. I test the condition of the shingles by placing the palm of my hand on the shingle, applying pressure and rotating it. The amount of granules that break free is an indication of the condition of the roof covering. Very few granules broke free from these shingles.

As best as I can tell the required two layers of felt are installed on the shed dormer roof.

Nails are commonly seen in the ridge shingles and flashings of a roof. They should be sealed.

There is an inadequate amount of shingles overhang on portions of the shed dormer roof. This condition can allow water to enter the overhangs of the roof and cause the wood to rot.

One shingle at the lower edge of the shed dormer is damaged.

GUTTERS & DOWNSPOUTS:

CONDITION:

There are no gutters on this house. Consider installing gutters and downspouts to help with site drainage.

ATTIC AND INSULATION:

ACCESSIBILITY:



The door to the attic should be weather stripped for energy efficiency.

**ROOF FRAMING
SYSTEM:**

This home uses conventional stick framing for the roof support system.

**INSULATION
TYPE AND
CONDITION:**

Blown cellulose has been used to insulate this attic.

The insulation is well distributed and is in good condition.

EXTERIOR & FOUNDATION

Areas hidden from view by plants, finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural or geotechnical engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

The siding and trim of the home are inspected to locate damaged materials and find any signs of movement in the structure.

Crawlspaces are inspected for moisture intrusion, foundation wall condition and the condition of the framing.

WALLS:

MATERIAL:

Brick and fibercement have been used as the siding materials for this home.

Defects, if any, are noted below.

CONDITION:

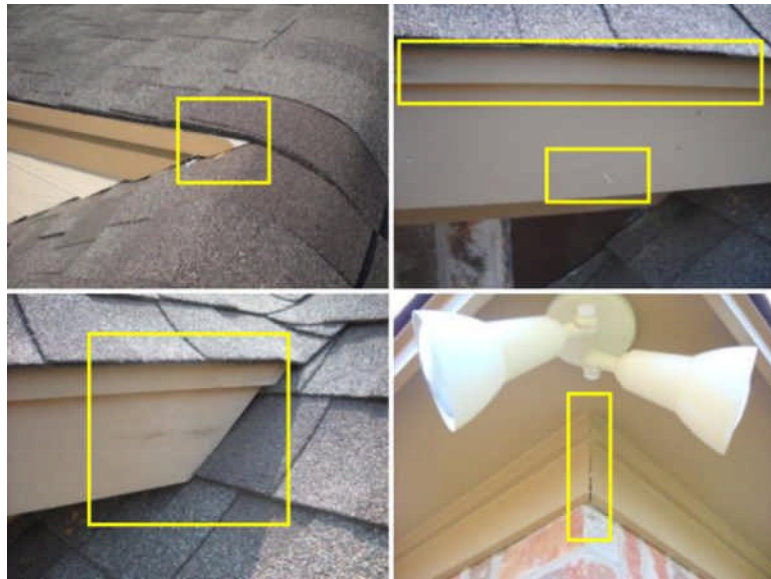


Brick veneer siding is now required to have weep holes (mortar vacancies every few bricks, allowing moisture to escape). Some of the weep holes are below the grading. When below grading, insects may enter the property more readily. At the very least a chemical barrier should be maintained to keep pests out of the home.

The cracks in the brick are typical for homes in this area. I found no evidence they are significant.

TRIM:

CONDITION:



I looked for moisture damaged trim and probed any unusual looking areas. I found no moisture damaged trim.

The final application of caulk and paint has not yet been completed.

FRAMING:

MATERIAL:

This is a wood framed structure. It is framed with 2 x dimensional lumber.

HEATING - AIR CONDITIONING

I do not inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of a standard home inspection. Most furnaces are designed in such a way that inspection is impossible unless the unit is totally disassembled. Asbestos materials have been commonly used in older heating systems. Determining the presence of asbestos can ONLY be preformed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a HVAC contractor you trust. I do not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. I recommend you have the heating and cooling system serviced annually.

MAIN HEATING AND AIR CONDITIONING SYSTEM:

AIR CONDITIONING SYSTEM:

This home has a central air conditioning system.

It has a 3 1/2 ton rating.

This condensing unit is about one year old.

SYSTEM CONDITION:



The compressor unit is not sitting level. It should be on a level platform.

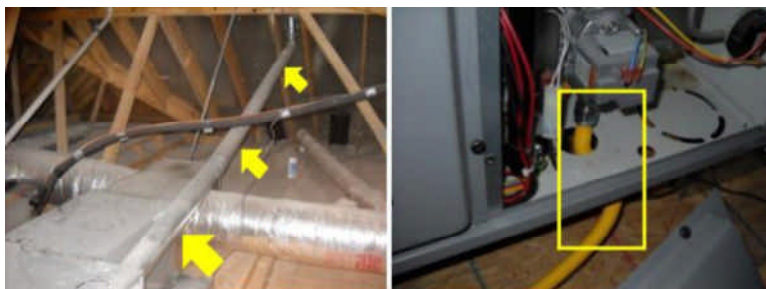
HEATING SYSTEM:

This is a forced air system.

The furnace is fueled by natural gas.

It's capacity is 100,000 BTUs.

CONDITION:



The ratio between the horizontal and vertical portions of this vent is not correct. This can create drafting and condensation problems. I

recommend a HVAC contractor who is knowledgeable of the GAMA venting requirements make corrections.

This vent is not properly supported. It should be supported every five feet.

The flexible gas connector should not enter the furnace. This violates the listing of the connector. It should be connected to a rigid metal pipe that exits the furnace cabinet.

SECOND HEATING AND AIR CONDITIONING SYSTEM:

AIR CONDITIONING SYSTEM:

This home has a central air conditioning system.

It has a 2 ton rating.

This condensing unit is about one year old.

SYSTEM CONDITION:



The compressor unit is not sitting level. It should be on a level platform.

The insulation is torn or missing from the refrigeration lines. This condition allows condensation to form on the refrigeration line and drip on to the surrounding areas.

HEATING SYSTEM:

This is a forced air system.

The furnace is fueled by natural gas.

It's capacity is 50,000 BTUs.

CONDITION:

The flexible gas connector should not enter the furnace. This violates the listing of the connector. It should be connected to a rigid metal pipe that exits the furnace cabinet.

The ratio between the horizontal and vertical portions of this vent is not correct. This can create drafting and condensation problems. I recommend a HVAC contractor who is knowledgeable of the GAMA venting requirements make corrections.

DUCTWORK:

TYPE:

The ductwork is comprised of insulated sheet metal and flexible pipe.

**DUCTS/AIR
SUPPLY:**

The air supply system and ductwork are in functional condition with no air leaks readily apparent.

ELECTRICAL SYSTEM

Any electrical repairs attempted by anyone other than a licensed electrician should not be attempted. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Inoperative light fixtures often lack bulbs or have burned-out bulbs installed. Due to time constraints, light bulbs are not changed during the inspection. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested monthly. GFCI breakers and outlets should also be tested monthly.

Some of the terms I use in this section of the report are not technically correct. I use them because they are the terms used most often by electricians and are more readily understood by you. I do not go into much detail on electrical defects. The technical details can get rather complex. I simply list them as unsafe conditions that should be corrected. I am happy to speak with you at length about the implications of any of these conditions listed. Content is also being added to the Alpha Inspection website to give more information about most defects found in a home.

ELECTRICAL PANELS:

MAIN PANEL LOCATION:

The main panel is located on the left side of the house. This is where the power to the house can be turned off.

CONDITION:



This is a 125 amp panel.

MAIN PANEL CONDITION:

I recommend all defects be corrected by an electrician.

The ground rods should be driven further into the ground to reduce the risk of impalement and comply with the National Electrical Code requirements.

SUBPANEL # 1:

This subpanel is located in the garage.

CONDITION:



I found no defects at this panel.

**HEATING AND
AIR
CONDITIONING
DISCONNECTS:**

These disconnects are located at the A/C Compressors.

A cord and plug serve as the disconnect for the furnaces. This is acceptable.

CONDITION:



Everything within the panel is in good working condition.

CONDUCTORS:

**ENTRANCE
CABLES:**

The service entrance cables were not able to be seen because they are underground.

**BRANCH
WIRING:**

The branch wiring conductors are copper with aluminum for the 220 volt circuits. Multi-strand aluminum wire does not have problems as the single strand aluminum wire of the 70s and 80s. It performs well.

SWITCHES & OUTLETS:

CONDITION:

The lights are not operational in some areas, possibly due to bad bulbs. I recommend all non-operating bulbs be replaced before the final walk through on the off chance a fixture is not functioning.

Some grounded type outlets tested to not be properly grounded. Have an electrician correct this condition and test all outlets in the home.

PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs. This service is not part of this inspection. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected.

To shut off the water supply to the house it is necessary to shut the valve off at the meter. The location of the meter is identified in this section of the report.

The water supply lines, waste lines and vent lines are inspected for general conditions and leaks. Any leaks in the system should be repaired. They can lead to damaged building materials and fungal/mold growth.

The water heater(s) are inspected for general condition and installation defects.

If present, fuel gas lines are inspected for defects.

MAIN LINES:

MATERIAL: There is no visible line within the meter box.

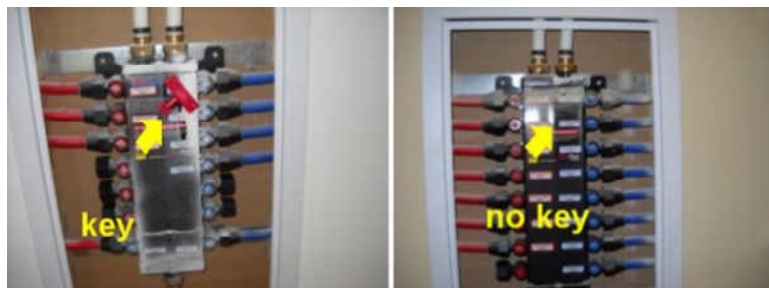
CONDITION: The water meter and shut off valve are located in the front yard.

Testing water sources throughout the house indicated the main line is in good condition.

SUPPLY LINES:

MATERIAL: The predominate piping product in this home is polyethylene (PEX). There are two control valve manifolds. They are located in the back bedroom closet and in the pantry.

CONDITION:



No leaks were found in the system and it is well installed.

No key is provided for the manifold in the pantry.

WASTE LINES:

MATERIAL: The waste and vent lines are PVC.

CONDITION: The waste and vent system are properly installed and working properly.

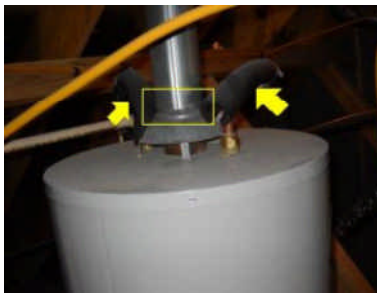
RIGHT SIDE WATER HEATER:

TYPE: This water heater is gas fired.

SIZE: The water heater has a 50 gallon capacity.

LOCATION: It is located in the attic.
Defects, if any, are noted below.

CONDITION:



The black foam pipe insulation should not be within 6" of the water heater draft hood. It is a combustible material.

The lower end of this vent pipe has been cut. This is improper as it voids the UL listing and changes the clearance to combustible material requirements of the vent pipe. The vent pipe should be replaced.

LEFT SIDE WATER HEATER:

TYPE: This water heater is gas fired.

SIZE: The water heater has a 40 gallon capacity.

LOCATION: It is located in the attic.
Defects, if any, are noted below.

CONDITION:



The black foam pipe insulation should not be within 6" of the water heater draft hood. It is a combustible material.

The lower end of this vent pipe has been cut. This is improper as it voids the UL listing and changes the clearance to combustible material requirements of the vent pipe. The vent pipe should be replaced.

Roofing shingles are within one inch of the vent pipe. They are considered combustible and should be removed.

FUEL SYSTEM:

METER

LOCATION:

The meter and shut off valve will be located at the right side of the house once they are installed.

KITCHEN - APPLIANCES - LAUNDRY

Inspection of stand alone appliances are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, clocks, timing devices and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. I test appliances to see if they respond properly to the basic controls.

KITCHEN SINK:

CONDITION: The sink and faucet are in functional condition.

RANGE/COOK TOP & OVEN

CONDITION:



This appliance is not completely put together.

VENTILATION:

CONDITION: The light and fan are operable.

DISHWASHER:

CONDITION: The dishwasher is not anchored to the cabinet.

The bottom panel of the dishwasher is not yet installed.

GARBAGE DISPOSER:

CONDITION: The garbage disposer is leak free and the wiring method is acceptable.

MICROWAVE:

CONDITION: I tested the microwave by heating water. It worked.

INTERIOR COMPONENTS:

COUNTERS: The counter tops are in acceptable condition.

CABINETS:



Some tightening and adjusting of the doors in the cabinets is needed.

Conventional drawer glides have been used for one pull out. They are not designed to carry the amount of weight they will be subjected to. I recommend a set of heavy duty full extension glides be installed.

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. There is no practical way to test the drain line with the limitations of a standard home inspection. Water supply valves may be subject to leaking if turned and are not operated for this reason.

LAUNDRY:

CONDITION: The plumbing, electrical and the vent system for the laundry room are in good working condition.

BATHROOMS

In each bathroom the sink, faucet and plumbing are inspected for leaks and their general condition. The toilet is inspected to determine it's general condition, connection to the floor flange and to the water supply. The shower, tub areas, faucets and drains are inspected for their condition and function. The ventilation system is also inspected.

HALL BATHROOM:

COMMENTS: This bathroom was inspected.

CONDITION OF SINK:

The sink is draining slowly. The cause should be investigated and corrected.

MASTER BATHROOM:

COMMENTS: This bathroom was inspected.

CONDITION OF TOILET:

The toilet is very loose. I recommend it be removed, the mounting flange inspected for damage, a new wax ring installed and the toilet reset. Caulking the toilet to the floor is not a proper repair.

TUB/SHOWER AND WALLS:



The hinges have not yet been installed on the access panel door.

UPSTAIRS BATHROOM:

COMMENTS: This bathroom was inspected.

CONDITION OF SINK:

Doors are not yet installed on this cabinet.

**CONDITION OF
TOILET:**

The toilet is very loose. I recommend it be removed, the mounting flange inspected for damage, a new wax ring installed and the toilet reset. Caulking the toilet to the floor is not a proper repair.

**TUB/SHOWER
AND WALLS:**



The toilet blocks the shower door from opening fully.

INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information and any history of replacement. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. It is wisdom to have the interior of the flue inspected with a camera to verify it's condition before you purchase any home. They should also be cleaned annually. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. I routinely recommend precautions be taken to prevent accidental falls from elevated windows. I also recommend an emergency escape ladder be kept in each bedroom that is above the first floor.

During the inspection process the condition of all doors and their hardware is examined. Windows are inspected for the condition of their glass, hardware and operation. If I could not reach a window because of furnishing or any other reason, it was not inspected. Its condition is excluded from this inspection.

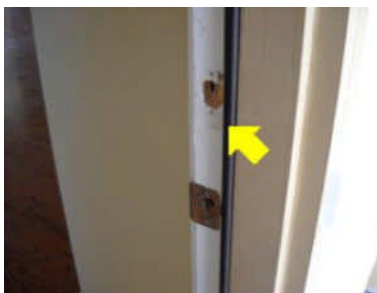
Ceilings, walls, floor coverings and cabinetry are inspected for their general condition.

Stairs and fireplaces, if present, are inspected for by industry standards.

The presence and locations of smoke detectors are examined. You should replace the batteries upon moving in and annually. Use the manufacturer provided test buttons to test the devices monthly.

DOORS:

MAIN ENTRY DOOR:



The front door is in need of additional coats of protective finish. Stained doors of this type need periodic maintenance. To properly protect the wood and finish they should be sanded and additional coats of finish applied every few years. It should be verified that the top and bottom edges are also sealed. These type doors often warp when these edges are left unsealed.

The strike plate for the deadbolt is not installed.

This door is not well adjusted. It does not seal at the top.

**INTERIOR
DOORS:**

The interior doors should be undercut to allow the conditioned air to freely return to the return air grill.

An upstairs closet and the laundry room doors will not latch properly.

The door to the master bathroom does not operate properly.

**WINDOWS:
CONDITION:**



Seal the window casings and other dissimilar materials to the brick.

The window at the top of the stairs should have safety glass installed.

This is a two story home. For increased safety I recommend you have readily available escape ladders in all upper level sleeping areas. Also consider providing fall protection for all second story windows.

**INTERIOR WALLS AND TRIM:
CONDITION:**



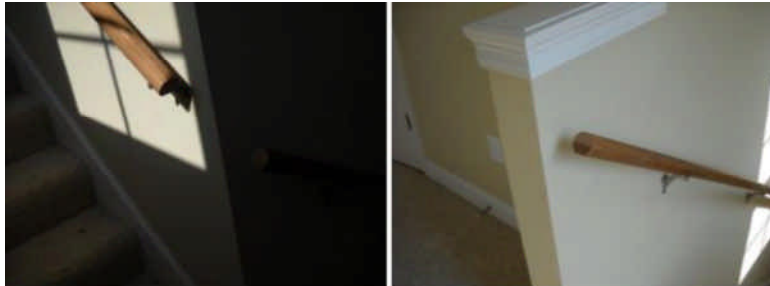
I recommend all penetrations in the wall system be sealed.

CABINetry:

Some of the shelves are not yet installed.

STAIRS & HANDRAILS:

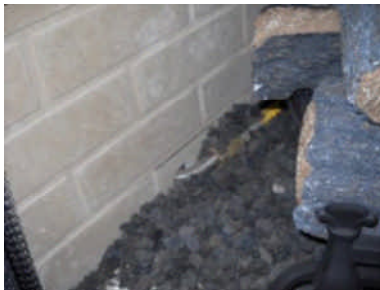
CONDITION:



Handrails on stairs should be continuous and return to the wall at the ends. These do not meet these criteria.

FIREPLACE:

TYPE &
CONDITION:



This is a vent free log set. It is important to leave the log set in the factory designed configuration. If you ever notice a soot (black) build up on the logs or inside the fireplace, discontinue use and have the appliance examined by a fireplace specialist or a competent plumber.

It is my company policy not to light log sets. I recommend you have the builder demonstrate it's operation during your final walk through.

The appliance connector is improperly installed. It should not be installed in a manner where it can contact sheet metal. It should be connected to rigid metal pipe inside of the fireplace. Two appliance connectors have been used. This is also improper.

SMOKE / FIRE DETECTOR:

COMMENTS:

Smoke detectors are installed in appropriate locations.

Installing high quality CO detectors is advised. I recommend the "CO Experts model 1070" detector. You can google the product and find it on several websites.

GARAGE

Notice: Determining the heat resistance rating of a firewall is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas.

Please take the time to read this web site <http://www.dasma.com/safetygdmaint.asp>. It gives good information on the monthly maintenance and testing of garage doors.

GARAGE DOOR:

CONDITION:

The automatic garage door opener did not reverse properly when it struck a 1.5" block on the floor. Typically adjusting the down force of on the opener is all that is necessary to correct this. For more information on this safety feature see <http://www.cpsc.gov/cpsc/pub/pubs/523.pdf>. The Genie Company provides a good example of proper installation on it's website. <http://www.geniecompany.com/docs/GENIE%20CHAINGLIDE-ENG.pdf> This is a safety item and is important to have the setting adjusted.

The electronic eyes should be installed between 5 and 6 inches above the floor to provide the proper safeguard. These are considerably higher.

Control buttons for openers should be mounted at least 5' above the floor to prevent small children from operating them.

GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection. We strongly recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

The driveway, sidewalk, landscaping, retaining walls and grading are inspected to the extent of having an impact on the home.

Decks and stairs are evaluated for their general condition and any safety concerns.

DRIVEWAY:

CONDITION:

I recommend the cracks be sealed with NP1 to prevent water entry and further raising and settling or widening of cracks. NP 1 is a polyurethane sealant that is available at Construction Materials on West St.

LAWN SPRINKLER SYSTEM

It is not within the scope of this report to determine the degree of salinity or volume of any well water. Inquire with the sellers of the property or check with the local agricultural extension service for these tests. We suggest you have the sellers instruct you as to the operation of this system. Ongoing maintenance of damaged or clogged sprinkler heads is necessary with most sprinkler systems.

WATER SOURCE:

The water supplying the sprinkler system comes from a municipal water supply. It shares a meter with the house. You will be paying for both water and sewer fees for the water used by the irrigation system.

DISTRIBUTION VALVES:

TYPE: The valves are electric and are operated by the irrigation controller.

NUMBER OF ZONES: There are 6 zones.

CONDITION: All valves responded to the controller.

ELECTRIC CONTROLS:

CONTROLLER: I was able to operate the controller and advance through the zones for inspection.

The back up battery is not installed in the controller.

SPRINKLER HEADS:

CONDITION: Some sprinkler heads need adjustment. Neither sprays or rotors should hit the house or windows.

Both rotors and sprays should be elevated to the correct height and be vertical.